

AQUAVISTA HOME OWNERS ASSOCIATION (RF) NPC

REG NO. 2001/019065/08

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NEWSLETTER **INSIDE THIS ISSUE:**

1. Directors Note.
2. Glovent – Communication System.
3. Amendments to the MOI.
4. Security:
5. Streetlights.
6. Empty Stands.
7. Drones.
8. Hyacinth Update.
9. Electricity Supply/Tariffs.
10. Dogs.
11. Estate Manager.

BOARD OF DIRECTORS:

Azad Laher
Martin Wagstaff
Josef Swanepoel
Jan Serfontein
Hennie Boshoff

Kobus Wilke – Maintenance Manager
Marlene Holder - Secretary

1. DIRECTORS NOTE:



We strive to maintain an Estate the Members of the HOA can take pride in. Everyone wants to live in a clean decent neighbourhood.

Homeowners have made a major investment in their homes. We value your input, concerns and opinions. Co-operation is the key.

2. GLOVENT - COMMUNICATION SYSTEM.

The HOA is launching an upgraded communication system with new and improved functions.

The HOA request all members to download the application (if you don't have it already) to be enabled to receive communication and information from the HOA:

3. AMENDMENTS TO THE MOI.

The Board is in an advanced stage of proposing amendments to the MOI of the HOA. The proposed amendments mainly intend to address the following:

- *Omission and amendment of restrictive provisions which have become redundant due to the development period having ended;*
- *Provisions to allow attendance of meetings in an electronic or virtual format or platform;*
- *Amendment of provision to align with the latest legal requirements and determinations;*
- *Correcting and simplifying language and structure as required from the reviewed provisions.*

In accordance with the MOI (clause 35) the amendment of the MOI requires a special resolution by the members requiring a 61% majority. Therefore at the AGM the Board will propose a resolution to consider and vote on the proposed amendments.

4. SECURITY.

Security Guards have been instructed to give more attention to the following:

- *Random vehicle searches, especially in respect of visitors and contractors.*
- *Double check the identity of the driver of any vehicle entering or leaving the Estate.*
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Please note that it is your responsibility to secure your house to the best of your ability. Any suspicious behaviour or criminal activity that you observe in the Estate should please be reported to Security.

5. STREET LIGHTS.

Streetlights are being replaced by Solar lights as funds are available. Currently the HOA bought 20 lights to start off with.

6. EMPTY STANDS.

Members were requested to clean their empty stands / streetscapes. For those who failed - the HOA to carry out these tasks on owners cost to clean these stands.

Grass/weeds on empty stands must be regularly attended to and kept in a neat and tidy condition. With winter approaching, tall grass poses a higher risk of fires.

7. DRONES.

*Please take note of the **Conduct Rules “Clause X”** regarding Drones – **to comply with.***

What to know before flying your drone in SA (private use).

Regulations apply to private use:

If you're interested in flying your drone for private use (no commercial interest, outcome or gain), you won't need to register the drone or obtain any licences, but the South African Civil

Aviation Authority (SACAA) Remotely Piloted Aircraft System (RPAS) Part 101 Regulations still apply.

What?

You're allowed to fly a drone that weighs up to 7kg, which shouldn't be a problem as hobby drones only weigh up to about 1.5kg. The drone may not carry any passengers or transport cargo.

When?

Apart from not being allowed to fly at night, be sure to keep an eye out for bad weather such as strong winds, rain or fog.

How high and how far?

You may fly in Restricted Visual Line of Sight (R-VLOS) only, which means that you must always maintain a direct line of sight with the drone.

Max distance: The drone may fly up to 500m away from the pilot whilst maintaining a direct line of sight.

Max height: The drone may not fly higher than 120m from the ground and it must stay below the height of the highest obstacle within 300m of the pilot.

Where?

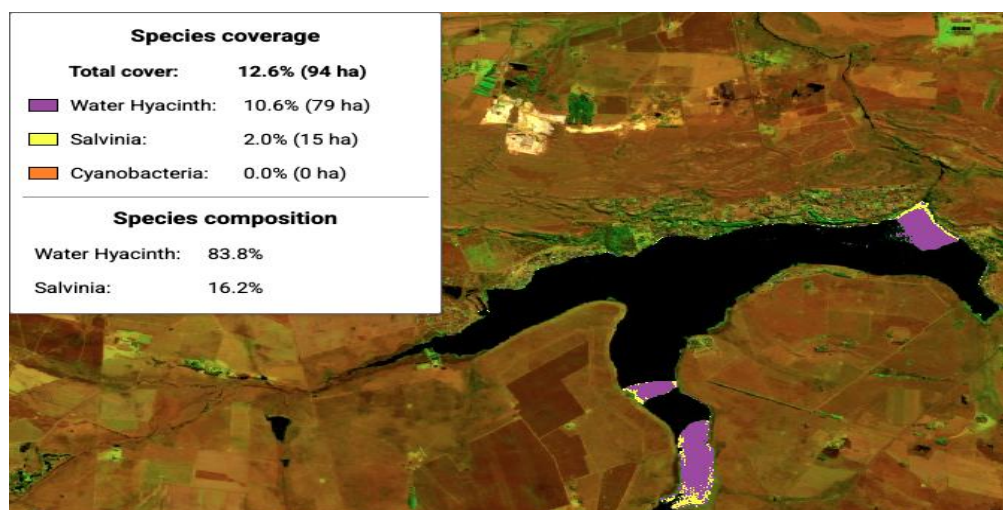
You must keep the drone more than **50m from people, roads and buildings**, and you need explicit permission to fly over other people's **properties**.

You must steer clear from (and within 10km from) airports/aerodromes and respect other people's privacy by not flying into or over their properties without permission – note that a contravention may constitute trespassing.

Any hobby drone pilot who fails to adhere to these regulations may receive a 10year prison sentence or a fine of up to R50, 000.00 or both.

8. HYACINTH UPDATE.

Please find below the latest update on the water hyacinth situation at Bronkhorstspuit Dam, along with relevant statistics and project progress:

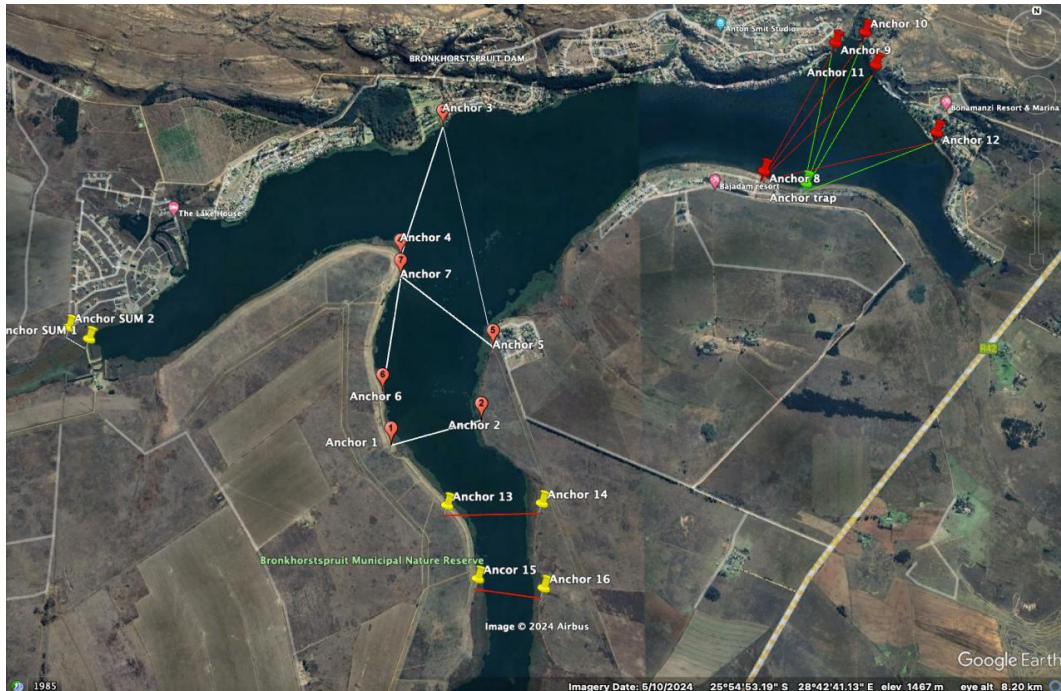


Hyacinth Coverage – June 2025

Directors: A Laher, MD Wagstaff, JF Swanepoel, JL Serfontein, HC Boshoff

- **Total cover:** 10.6% (79 ha)
- **Compared to June 2024:** 31.09% (232.85 ha)
- **Total surface area of dam:** 860.9 ha

*This reflects a significant improvement in containment and management since last year. Currently, approximately **33% of the hyacinths** are free-floating across the dam, driven by wind. Around **66% is being effectively contained** using three cable lines at the Nature Reserve. The aim is to use wind movement to push the loose hyacinths into the containment area by temporarily removing specific cables. This will help consolidate the bulk of the vegetation on the southern side of the dam.*



Harvester Progress

The harvester development has experienced delays due to setbacks in manufacturing and commissioning two key components:

- **Crusher**
- **Screw press**



These have now been thoroughly tested and modified specifically to:

Directors: A Laher, MD Wagstaff, JF Swanepoel, JL Serfontein, HC Boshoff

- Crush hyacinths efficiently
- Remove up to **90% of water content**, reducing:
 - **Volume by +/- 66%**
 - **Weight by +/- 83%**

This significantly reduces transportation costs from harvester to the shore.

Current status:

- Pontoons and structural components are at **Kego Mining**, where the base frame and conveyor system is under construction.
- Final assembly will take place at **Ilanga**.



Outstanding Requirements

To complete the build, we are still in need of the following components:

1. 1 × +/- 75kva 3-phase generator
2. 2 × Water wheels
3. 1 × Hydraulic system

Note

*This project does **not follow a pre-existing blueprint**. It is a **dynamic, progressive build**. Thank you for your continued support. Please feel free to reach out if you have questions or can assist with sourcing the remaining components.*

Kind regards,

9. ELECTRICITY SUPPLY/TARIFFS.

The recent Eskom tariff increase has significantly impacted individuals and businesses across South Africa. Unfortunately, the electricity tariffs in Aqua Vista have also risen sharply and are currently being reviewed.

We want to assure you that the Board is actively seeking alternative solutions. We are reviewing proposals from other service providers and are in discussions with Impact Meters regarding a possible change to the current billing system.

We understand the financial strain, especially during winter and recognise the urgency of this matter. Securing a more affordable rate for all Aqua Vista households is a top priority for the Board.

Members will be updated accordingly.

10. DOGS.

The matter is being taken extremely seriously and it is decided by the Board that penalties will strictly/aggressively be implemented.

The following rules must be strictly adhered to:

- ***Pets are not allowed to roam the streets.***
- ***Pets must be walked on a leash in public areas.***
- ***Every pet must wear a collar with a tag indicating the name and telephone number of the owner.***
- ***Excessive barking, especially at night will have to be controlled by way of the appropriate “barking collar”.***

If penalties are not paid in future utilities will be disconnected. All complaints to be reported via the official channels of communication with proof of the complaints.

The HOA cannot forcibly remove a pet, but can impose penalties should the owner not comply with a reasonable request in this regard

11. ESTATE MANAGER.

The Directors of Aqua Vista would like to inform you that, effective 1 March 2025, Johannes Landman is no longer serving as Estate Manager.

We appreciate Johannes' contributions during his tenure and wish him well in his future endeavours.

Please be assured that all essential services will continue uninterrupted, and we are committed to maintaining the high standards you expect from Aqua Vista, but the vacancy will have to be filled as a matter of urgency.

*Friendly Aqua Vista Greeting,
HOA Team*